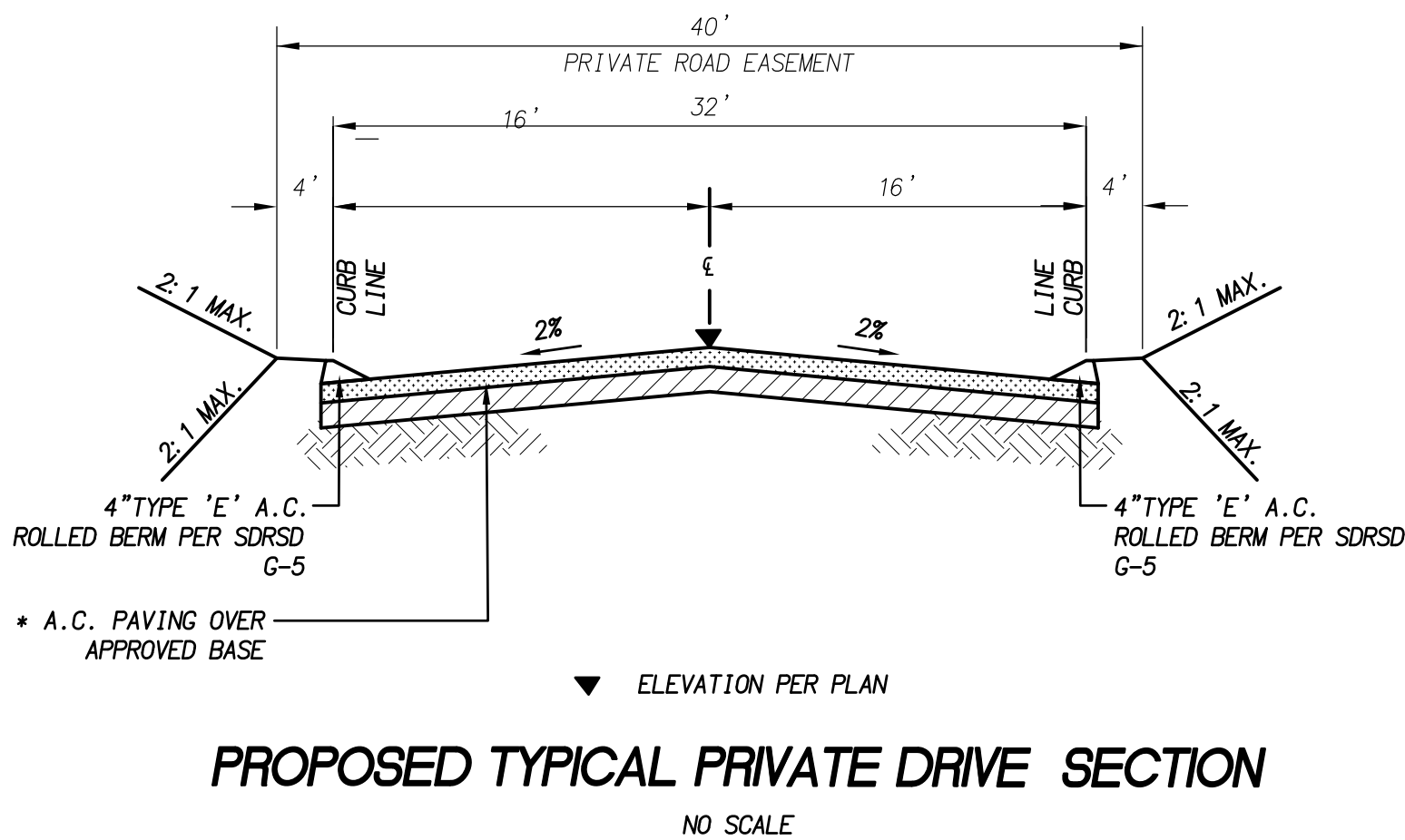
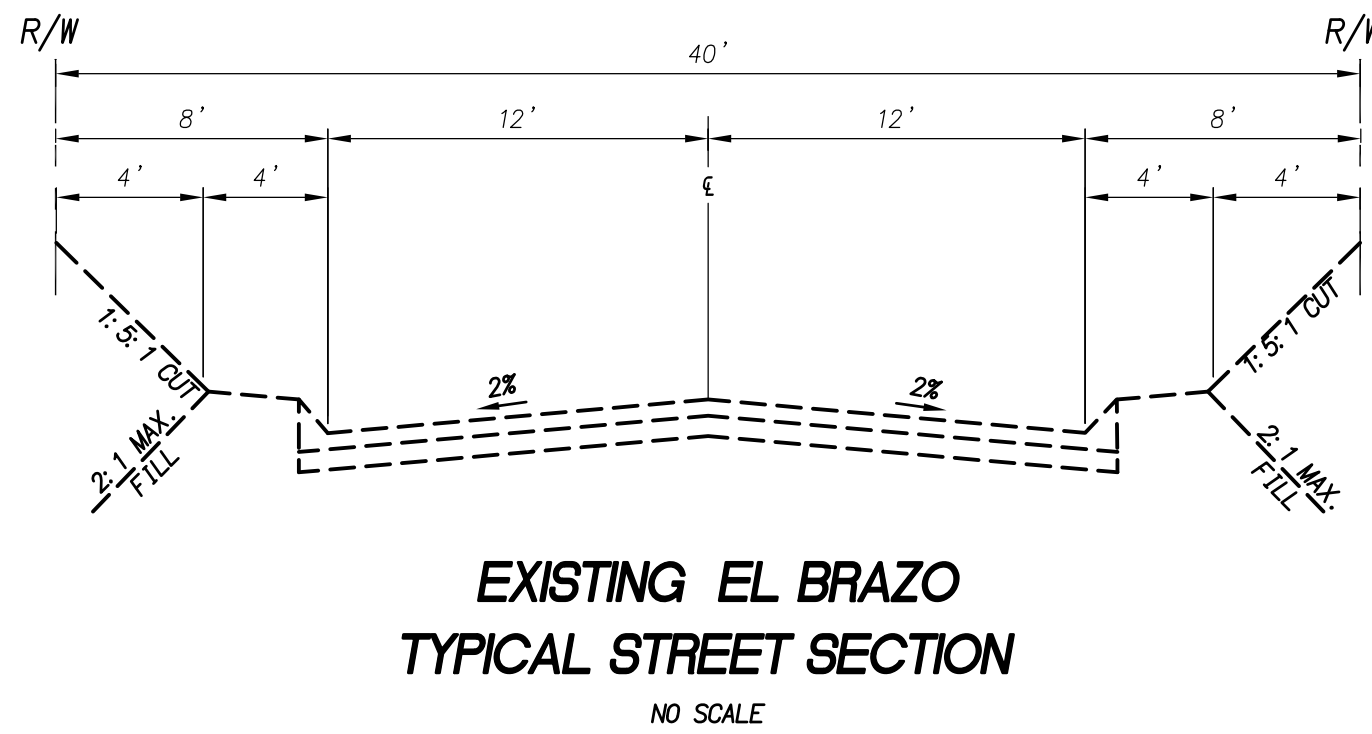
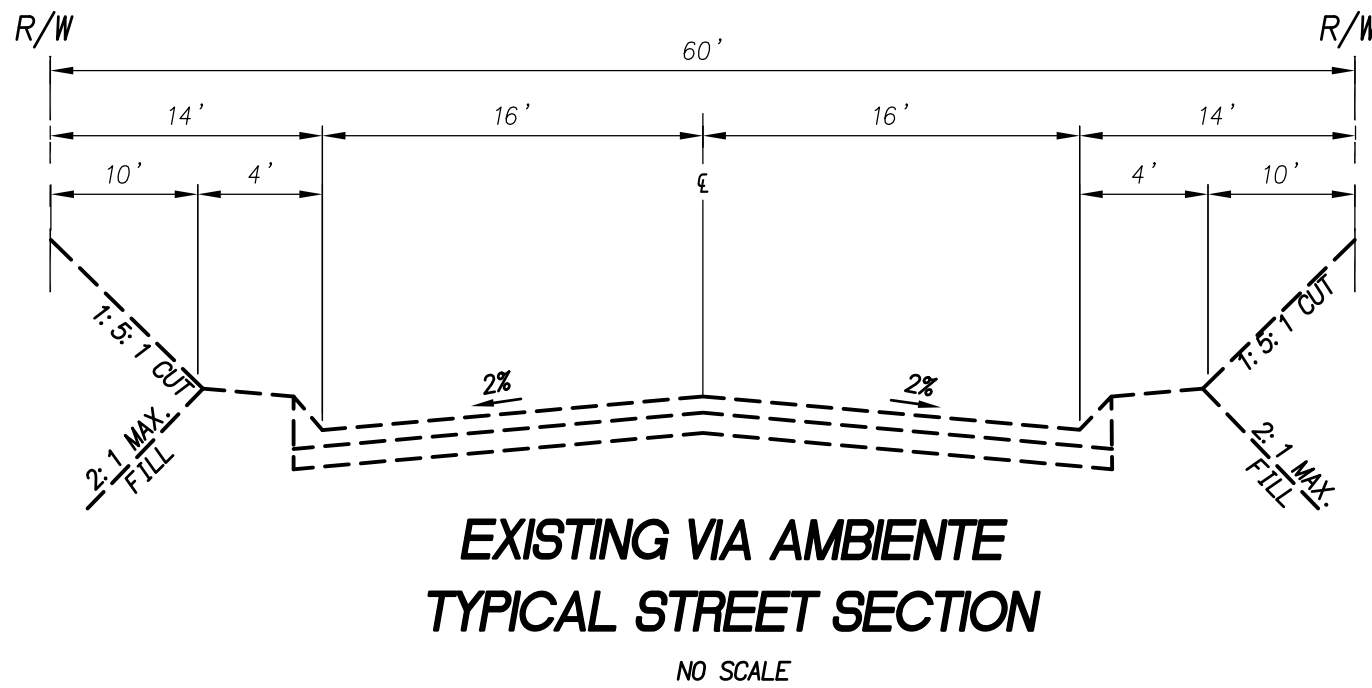
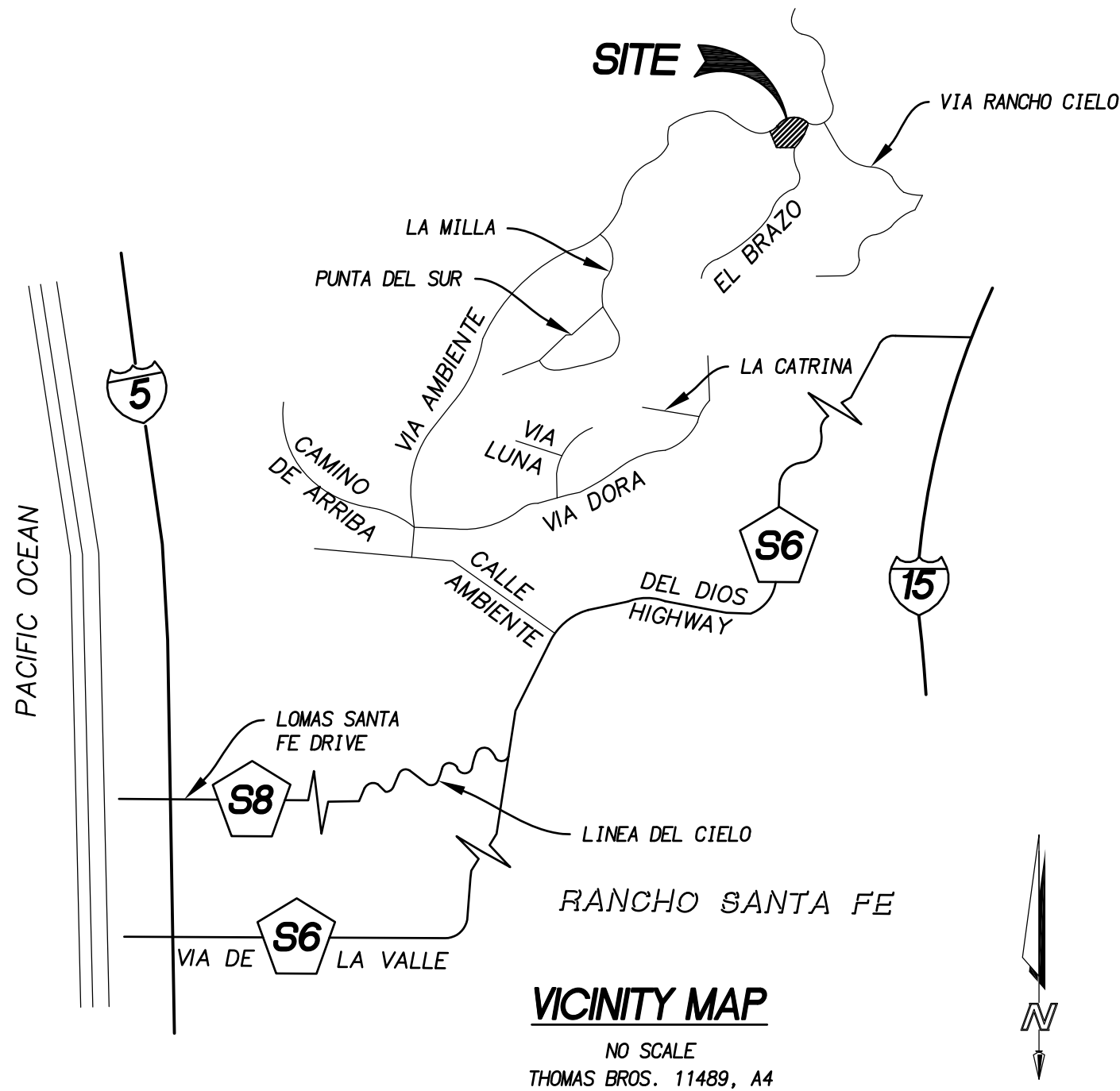
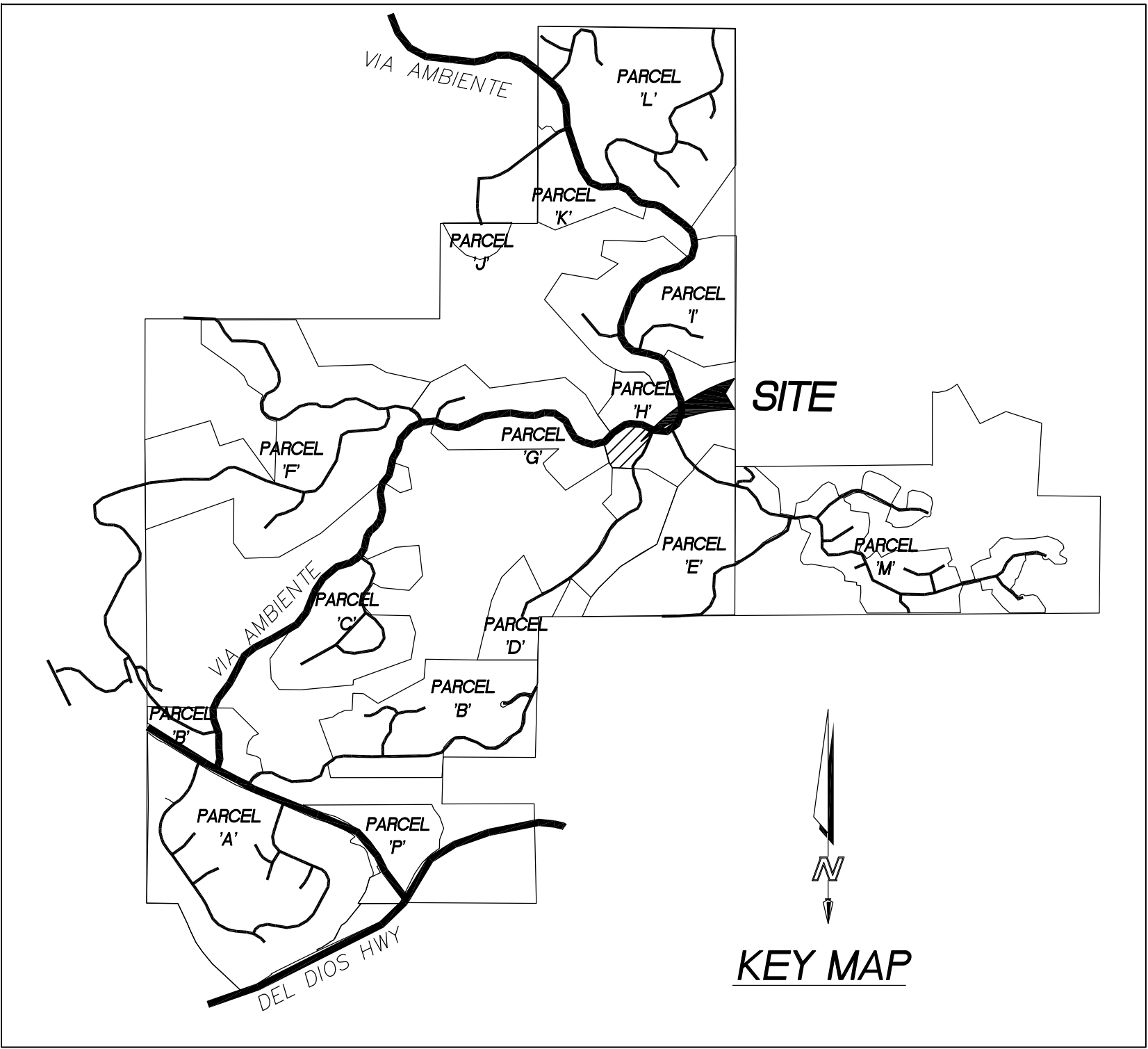


PRELIMINARY GRADING PLAN FOR
COUNTY OF SAN DIEGO TRACT MAP 5440RPL³
RANCHO CIELO VILLAGE CENTER



GRADING NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF THE VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR COUNTY ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
- A CONSTRUCTION, EXCAVATION OR ENDOACHMENT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS WILL BE REQUIRED FOR ANY WORK IN THE COUNTY RIGHT-OF-WAY.
- ALL SLOPES OVER 3 FEET IN HEIGHT WILL BE PLANTED IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATION.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF THE PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
SAN DIEGO GAS AND ELECTRIC 1-800-411-7343
PACIFIC TELEPHONE 1-888-672-2835
COX CABLE 1-855-627-1562
OLIVENHAIN MUNICIPAL WATER DISTRICT (SEWER) 1-760-753-6466
OLIVENHAIN MUNICIPAL WATER DISTRICT (WATER) 1-760-753-6466
- A SOILS REPORT MAY BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PUBLIC WORKS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE DIRECTOR OF PUBLIC WORKS' APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATIONS FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED (SECTIONS 87.403 & 87.410). ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND LAND USE.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 am AND 6:00 p.m., EACH DAY, MONDAY THROUGH SATURDAY, AND NO EARTH MOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OF FILL SURFACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILLING, SOIL OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
- SLOPE RATIOS:
CUT: 1.5:1 FOR MINOR SLOPES UNDER 15' HIGH OR IN ROCK. 2:1 FOR MAJOR SLOPES.
FILL: 2:1
- EXCAVATION: 33,000 CY. EMBANKMENT: 22,200 CY. IMPORT: 10,800 CY.
- A SEPARATE PERMIT MUST BE OBTAINED FOR WASTE/ OR IMPORT AREA.
- SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PUBLIC WORKS TO DO SO.
- ALL GRADING DETAILS WILL BE IN ACCORDANCE WITH SAN DIEGO COUNTY STANDARD DRAWINGS DS-8, DS-10, DS-11, & D-75
- FINISHED GRADING TO BE CERTIFIED BY A REGISTERED CIVIL ENGINEER AND INSPECTED BY THE COUNTY ENGINEER FOR DRAINAGE CLEARANCE. (APPROVAL OF ROUGH GRADING DOES NOT CERTIFY FINISH BECAUSE OF POTENTIAL SURFACE DRAINAGE PROBLEMS THAT MAY BE CREATED BY LANDSCAPING ACCOMPLISHED AFTER ROUGH GRADING CERTIFICATION).

PARK LAND DEDICATION STATEMENT

SEE AMENDED SPECIFIC PLAN FOR RANCHO CIELO PARK LAND DEDICATIONS.

SPECIAL ASSESSMENT ACT STATEMENT

NO REQUEST WILL BE MADE

SOLAR ACCESS NOTE

THE LOT WITHIN THIS SUBDIVISION HAS A MINIMUM OF 100 SQ. FEET OF SOLAR ACCESS FOR EACH FUTURE DWELLING UNIT ALLOWED BY THIS SUBDIVISION.

STREET LIGHT STATEMENT

THE REQUIRED LIGHTING SYSTEM SHALL BE INSTALLED ACCORDING TO COUNTY ROAD STANDARDS. THE PUBLIC WORKS DEPARTMENT SHALL ADMINISTER THE COMPLIANCE PROCEDURES TO ASSURE PROPER INSTALLATION AND CONTINUED OPERATION.

IMPROVEMENT STATEMENT

APPLICANT WILL COMPLY WITH THE REQUIREMENTS SPECIFIED IN THE COUNTY STANDARDS FOR THE INSTALLATION OF IMPROVEMENTS.

LEGEND

ITEMS	SYMBOL
TRACT BOUNDARY	---
RIGHT OF WAY	---
LOT LINE	---
CUT/FILL SLOPE 1.5: 1 OR AS NOTED	1.5:1
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
DAYLIGHT LINE	---
LOT NUMBER	---
UNIT NUMBER	---
PAD ELEVATION	---
EXISTING STORM DRAIN	---
PROPOSED STORM DRAIN (PVT.)	---
PROPOSED SEWER MAIN (PVT.)	---
PROPOSED WATER MAIN (PVT.)	---
PROPOSED FIRE HYDRANT ASSEMBLY	---
EXISTING FIRE HYDRANT ASSEMBLY	---
EXISTING CONCRETE BROW DITCH	---
PROPOSED CONCRETE BROW DITCH	---
INDICATES DIRECTION OF FLOW	---
RETAINING WALL	---
OPEN SPACE FENCING	---
INDICATES TOP OF WALL ELEVATION	---
INDICATES FINISHED GROUND ELEVATION	---
INDICATES TOP OF BERM ELEVATION	---
INDICATES PAVEMENT ELEVATION	---
INDICATES FINISH GRADE ELEVATION	---
INDICATES FLOW LINE ELEVATION	---
BRUSH ZONE "A" BOUNDARY	---
BRUSH ZONE "B" BOUNDARY	---

NOTE:
SAN DIEGO COUNTY DESIGN STANDARDS DS-1 THROUGH DS-16, DS-20A AND DS-20B APPLY TO THIS PROJECT.

ZONING INFORMATION		
APN	EXISTING	PROPOSED
264-382-16	C-36	RV-3
USE REGULATIONS	Q	A
ANIMAL REGULATIONS	DENSITY	29
REGULATIONS	LOT SIZE	-
	BUILDING TYPE	T
	MAXIMUM FLOOR AREA	-
	FLOOR AREA RATIO	-
	HEIGHT	G
	LOT COVERAGE	-
	SETBACK	0
	OPEN SPACE	A
DEVELOPMENT	LOT COVERAGE	60%
	SETBACK	0
SPECIAL AREA REGULATIONS		
	A	D

LOT AREA				
LOT NO.	GROSS AREA (SF)	GROSS AREA (AC)	NET AREA (SF)	NET AREA (AC)
1	243,511	5.59	243,511	5.59

OPEN SPACE AREA			
EXISTING O.S. AREA (SF)	EXISTING O.S. AREA (AC)	*PROPOSED O.S. AREA (SF)	*PROPOSED O.S. AREA (AC)
49,810	1.14	86,597	2.00
* BRUSH MANAGEMENT ZONE 'B' CAN OCCUR WITHIN OPEN SPACE AREA			
* DRAINAGE PIPE, HEADWALL, RIPRAP & BROW DITCH CAN OCCUR WITHIN OPEN SPACE AREA.			

GENERAL NOTES

- TOTAL GROSS AREA: 5.590 ACRES NET AREA: 5.590 ACRES
- TOTAL NUMBER OF LOTS: 1 LOT
- 1 - RESIDENTIAL, PORTION OF LOT 1 - OPEN SPACE
- TOTAL NUMBER OF DWELLING UNITS: 11
- ALL PROPOSED UTILITIES TO BE UNDERGROUND.
- EXISTING AERIAL TOPOGRAPHY WAS PREPARED BY SAN-LO AERIAL SURVEYS, FLOWN 10-23-98. (CONTOURS SHOWN ON PLAN ARE 2 FOOT INTERVAL)
- LAMBERT COORDINATES: 322-1719
- ALL PUBLIC STORM DRAIN SHOWN ON THIS TM NOT WITHIN PUBLIC STREET WILL BE GRANTED A DRAINAGE EASEMENT WHICH ENCOMPASSES THE DRAINAGE FACILITIES; DEDICATED TO THE COUNTY FLOOD CONTROL DISTRICT.
- GENERAL PLAN REGIONAL CATEGORY: EDA
- GENERAL PLAN LAND USE DESIGNATION: 21
- COMMUNITY PLAN: SAN DIEGUITO
- PROPOSED LAND USE: 11 RESIDENTIAL UNITS
- PROPOSED TAX RATE AREA: 74180

LEGAL DESCRIPTION

LOT 109 OF COUNTY OF SAN DIEGO 711ACT NO. 4229-2, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 12764; FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY. JANUARY 9, 1991.

ASSESSOR'S PARCEL NO. 'S EXISTING ZONE PROPOSED ZONE

264-382-16 RV-3 C-36

PUBLIC UTILITIES/DISTRICTS:

SEWER	OLIVENHAIN MUNICIPAL WATER DISTRICT
WATER	OLIVENHAIN MUNICIPAL WATER DISTRICT
STORM DRAIN	COUNTY OF SAN DIEGO
TELEPHONE	PACIFIC TELEPHONE
GAS AND ELECTRIC	SDG&E
CABLE T.V.	COX CABLE
POLICE	COUNTY SHERIFF
FIRE	RANCHO SANTA FE FIRE PROTECTION DISTRICT
SCHOOL	ESCONDIDO UNION SCHOOL DISTRICT (ELEMENTARY, JR. HIGH, AND HIGH SCHOOL)

CONDOMINIUM NOTE

LOT 1 OF THIS SITE PLAN IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE MAXIMUM NUMBER OF CONDOMINIUM DWELLING UNITS IS 11.

GRADING PLAN NOTE

THIS PLAN IS PROVIDED TO ALLOW FOR A FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN VALID GRADING PERMISSIONS BEFORE COMMENCING SUCH ACTIVITY.

GRADING QUANTITIES

CUT	33,000 C.Y.
FILL	22,200 C.Y.
EXPORT	10,800 C.Y.

OWNER / SUBDIVIDER

OWNER'S CERTIFICATE (OWNER AND SUBDIVIDER):
WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS TENTATIVE MAP.

RANCHO CIELO ESTATES, LTD.
PO BOX 2303
RANCHO SANTA FE, CA 92067
TEL: (858) 756-5667

DENSITY CALCULATION

PROPOSED DENSITY = 11 DU/ 5.590 AC = 2.0 DU/ AC
ALLOWABLE DENSITY = 3.0 DU/AC

ENGINEER OF WORK

FUSCOE ENGINEERING - SAN DIEGO, INC.
6390 GREENWICH DRIVE, STE. 170
SAN DIEGO, CA 92122
(658)554-1500



ROBERT A. CHASE RCE 41903 DATE

NO. DATE REVISION

FUSCOE
ENGINEERING

6390 Greenwich Drive, Suite 170
San Diego, California 92122
tel 858.554.1500 • fax 858.597.0335
www.fuscoe.com

the Native American Monitor. Monitoring of cutting of previously disturbed deposits will be determined by the Project Archaeologist."

b. "In the event that previously unidentified potentially significant cultural resources are discovered, the Project Archaeologist, in consultation with the Native American monitor, shall have the authority to divert or temporarily halt ground disturbance operations in the area of discovery to allow evaluation of potentially significant cultural resources. At the time of discovery, the Project Archaeologist shall contact the DPLU Staff Archaeologist. The Project Archaeologist, in consultation with the DPLU Staff Archaeologist, shall determine the significance of the discovered resources. Construction activities will be allowed to resume in the affected area only after the DPLU Staff Archaeologist has concurred with the evaluation. For significant cultural resources, a Research Design and Data Recovery Program to mitigate impacts shall be prepared by the Project Archaeologist and approved by the Staff Archaeologist, then carried out using professional archaeological methods."

c. "If any human bones are discovered, the Project Archaeologist shall contact the County Coroner and the DPLU Staff Archaeologist. If the remains are determined to be of Native American origin, the Most Likely Descendant, as identified by the Native American Heritage Commission, shall be contacted by the Project Archaeologist in order to determine proper treatment and disposition of the remains."

d. "The Project Archaeologist shall submit monthly status reports to the Director of Planning and Land Use starting from the date of the Notice to Proceed to termination of implementation of the grading monitoring program. The reports shall briefly summarize all activities during the period and the status of progress on overall plan implementation. Upon completion of the implementation phase, a final report shall be submitted describing the plan compliance procedures and site conditions before and after construction."

Documentation. The applicant shall implement the grading monitoring program pursuant to this condition. **Timing.** The following actions shall occur throughout the duration of the grading construction. **Monitoring:** The [DPW, PDC] shall make sure that the Project Archaeologist is on-site performing the Monitoring duties of this condition. The [DPW, PDC] shall contact the [DPLU, PCC] if the Project Archaeologist or applicant fails to comply with this condition.

ROUGH GRADING: (Prior to rough grading approval and issuance of any building permit).

(PALEONTOLOGICAL RESOURCES)

G. PALEONTOLOGICAL MONITORING: [DPLU, PCC] [RG, BP] [DPLU, FEE]. Intent: In order to comply with the adopted Mitigation Monitoring and Reporting Program (MMRP) pursuant to TM 5440, and the [County of San Diego Guidelines for Determining Significance and Report Format and Content Requirements for Paleontological Resources](#), the following grading monitoring program shall be implemented. **Description of Requirement:** The Project Paleontologist shall prepare one of the following letters upon completion of the grading activities that require monitoring:

a. If no paleontological resources were discovered, submit a "No Fossils Found" letter from the grading contractor to the [DPLU, PCC] stating that the monitoring has been completed and that no fossils were discovered, including the names and signatures from the fossil monitors. The letter shall be in the format of Attachment E of the County of San Diego Guidelines for Determining Significance for Paleontological Resources.

b. If Paleontological resources were encountered during grading, a letter shall be prepared stating that the field grading monitoring activities have been completed, and that resources

in the form of a letter from the curation facility stating that archaeological materials have been received and that all fees have been paid.

d. If no cultural resources are discovered, a brief letter to that effect must be submitted stating that the grading monitoring activities have been completed. Daily Monitoring Logs must be submitted with the negative monitoring report.

Documentation: The applicant shall submit the report to the [DPLU, PCQ] for review and approval. **Timing:** Prior to the occupancy of any structure or use of the premises in relation of TM 5440, and prior to Final Grading Review (Grading Ordinance Sec. 87.421 a.3), the final report shall be completed. **Monitoring:** The [DPLU, PCQ] shall review the final report for compliance with the project MMRP, and inform [DPW, PDCI] that the requirement is completed.

A. AIR QUALITY: [DPW, PDCI]. Intent: To mitigate for potential air quality effects that may be caused by grading activities during construction. **Description of Requirement:** The project shall comply with the following Air Quality measures:


- a. All haul/dump trucks entering or leaving the site with soil or fill material must maintain at least 2 feet of freeboard or cover loads of all haul/dump trucks securely (unnumbered design measure).
- b. Dust control measures of the Grading Ordinance will be enhanced with a minimum of three (3) daily applications of water to the construction areas, between dozers/scrapers passes, within the project limits.
- c. Grading is to be terminated in winds exceed 25 mph.
- d. Sweepers and water trucks shall be used to control dust and debris at public street access points.
- e. Dirt storage piles will be stabilized by chemical binders, tarps, fencing or other suppression measures.
- f. Internal construction-roadsways will be stabilized by paving, chip sealing or chemicals after ground grading.
- g. All unpaved construction areas shall be sprinkled with water or other acceptable San Diego Air Pollution Control District (SDAPCD) dust control agents at least three times daily and during dust-generating activities to reduce dust emissions. Additional watering or acceptable SDAPCD dust control agents shall be applied during dry weather or windy days until dust emissions are not visible.
- h. Soil stabilizers shall be applied to inactive areas.
- i. On dry days, dirt and debris spilled onto paved surfaces shall be swept up immediately to reduce re-suspension of particulate matter caused by vehicle movement. Approach routes to construction sites shall be cleaned daily of construction-related dirt in dry weather.
- j. Disturbed areas shall be hydroseeded, landscaped, or developed as quickly as possible to reduce dust.
- k. Reduction of idling times for construction equipment shall occur, during grading and construction activities.

Project construction and grading vehicles shall use low-sulfur fuels, as required by the California Air Resources Board (CARB).

Documentation: The applicant shall comply with the Air Quality requirements of this condition. **Timing:** The following actions shall occur throughout the duration of the grading construction. **Monitoring:** The [DPW, PDCI] shall make sure that the grading contractor complies with the Air Quality requirements of this condition. The [DPW, PDCI] shall contact the [DPLU, PCQ] if the applicant fails to comply with this condition.

8 of 8

NO.	DATE	REVISION

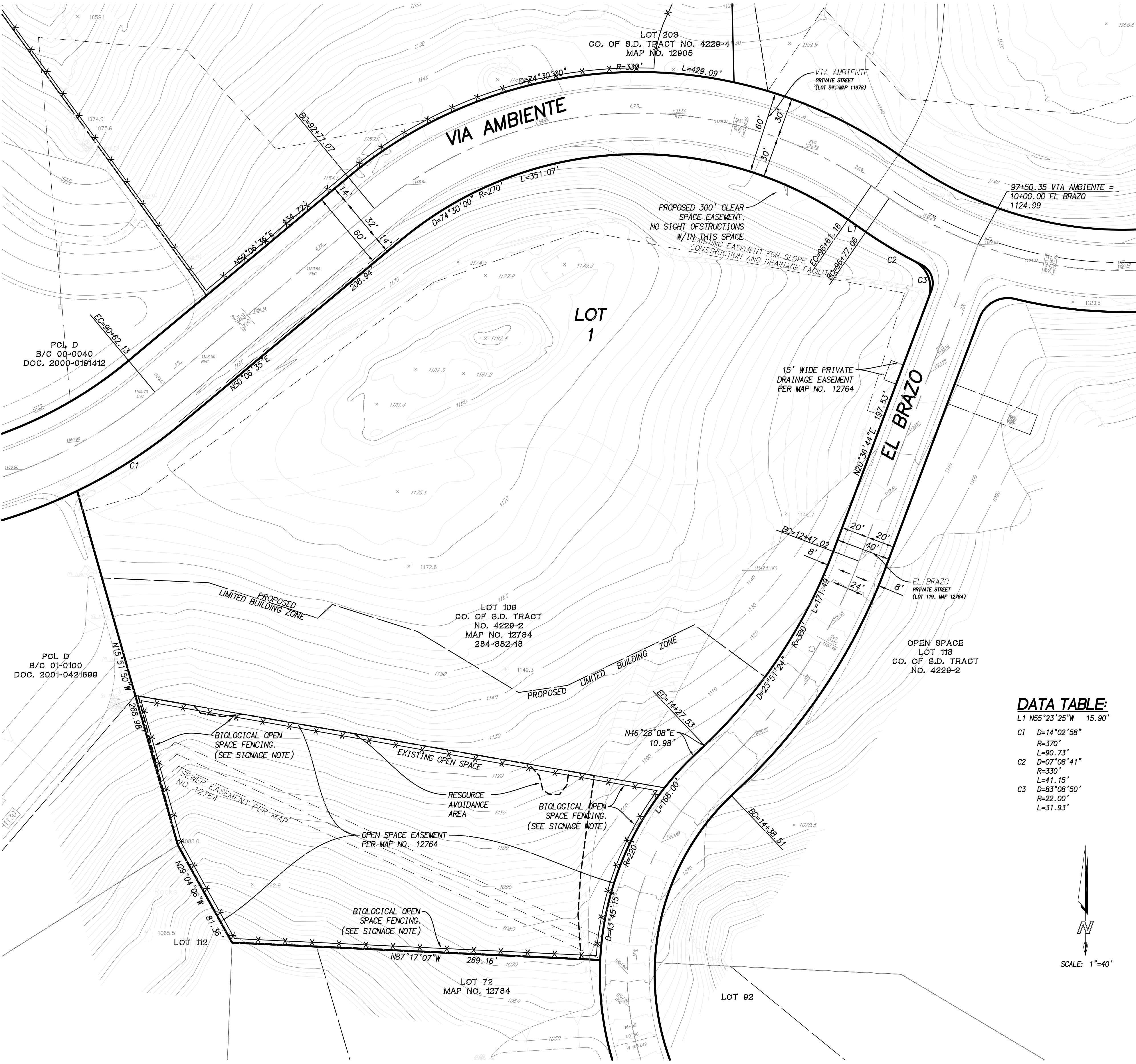


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RANCHO CIELO VILLAGE CENTER
EXISTING CONDITIONS W/ PROPOSED LOTTING



LEGEND

ITEMS	STAD. DWGS.	SYMBOL
TRACT BOUNDARY	---	---
RIGHT OF WAY	---	---
PROPOSED LOT LINE	---	---
EXISTING CONTOUR	---	---
PROPOSED LOT NUMBER	---	1
EXISTING SEWER MAIN W/ MANHOLE	---	SS
EXISTING WATER MAIN	---	W
EXISTING STORM DRAIN	---	---
EXISTING FIRE HYDRANT ASSEMBLY	---	---
EXISTING CONCRETE BROW DITCH	---	---
OPEN SPACE FENCING	---	---

OPEN SPACE SIGNAGE NOTES

OPEN SPACE SIGNS SHALL BE PLACED ALONG THE BIOLOGICAL OPEN SPACE BOUNDARY AT 100' INTERVALS MINIMUM. SIGNS MUST BE CORROSION RESISTANT, A MINIMUM OF 6"x9" IN SIZE, ON POSTS NOT LESS THAN THREE (3) FEET IN HEIGHT FROM THE GROUND SURFACE, AND MUST STATE THE FOLLOWING:

**SENSITIVE ENVIRONMENTAL RESOURCES
AREA RESTRICTED BY EASEMENT**
APPROVED ENTRY WITHOUT EXPRESS WRITTEN PERMISSION FROM THE COUNTY OF SAN DIEGO IS PROHIBITED. TO REPORT A VIOLATION OR FOR MORE INFORMATION ABOUT EASEMENT RESTRICTIONS AND EXCEPTIONS CONTACT THE COUNTY OF SAN DIEGO, DEPARTMENT OF PLANNING AND LAND USE.
REFERENCE: (TM 5440 & ER 86-06-026B)

DATA TABLE:

L1	N55°23'25"W	15.90'
C1	D=14°02'58"	R=370'
	L=90.73'	
C2	D=07°08'41"	R=330'
	L=41.15'	
C3	D=83°08'50"	R=22.00'
	L=31.93'	

ENGINEER OF WORK

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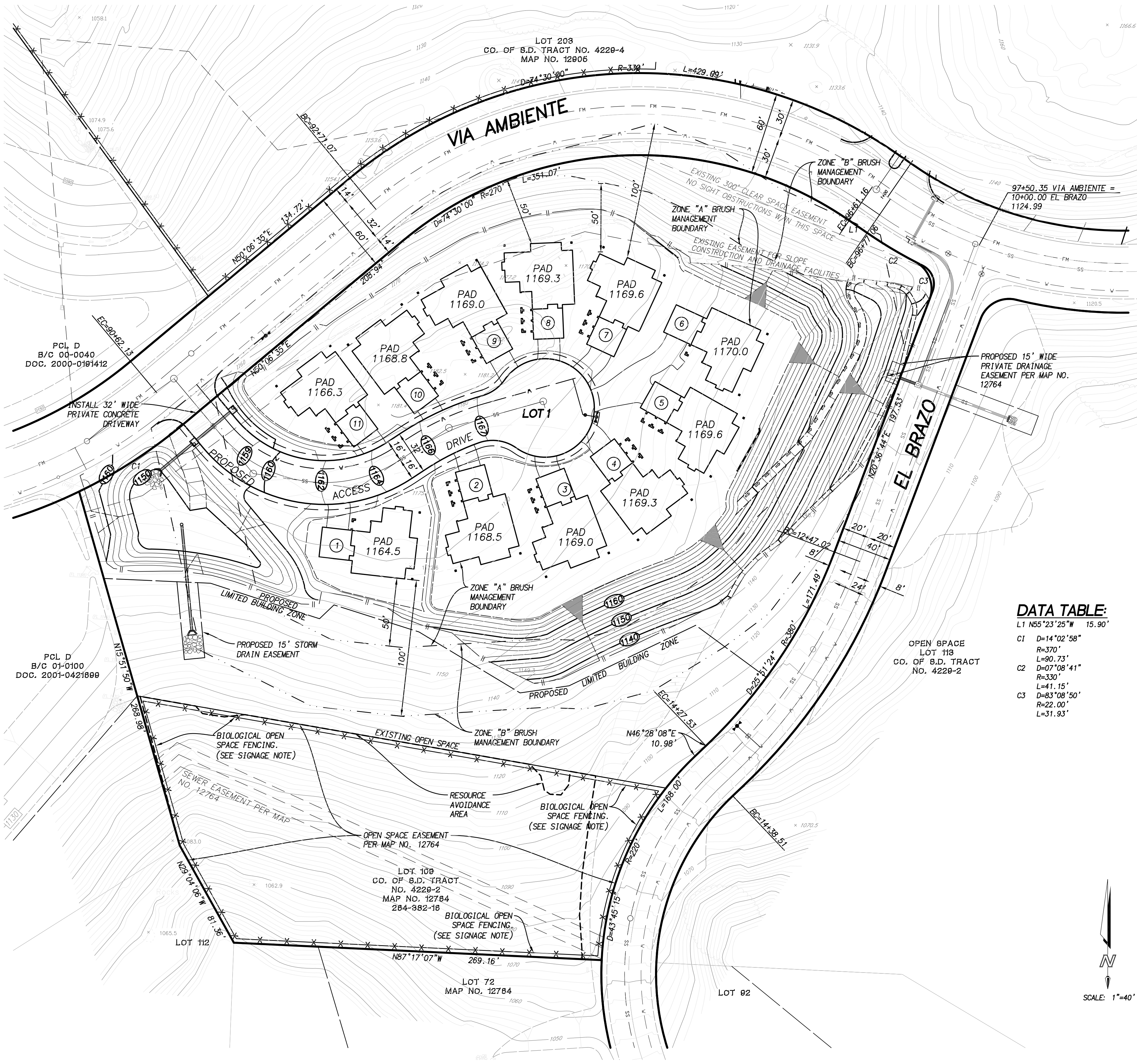


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SHEET 4 OF 4 SHEETS

RANCHO CIELO VILLAGE CENTER

PRELIMINARY GRADING PLAN



LEGEND

ITEMS	SYMBOL
TRACT BOUNDARY	---
RIGHT OF WAY	---
LOT LINE	---
CUT/FILL SLOPE 1.5: 1 OR AS NOTED	---C---F---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
DAYLIGHT LINE	---
LOT NUMBER	1
UNIT NUMBER	1
PAD ELEVATION	PAD 1119
EXISTING STORM DRAIN	---
PROPOSED STORM DRAIN (PVT.)	---
PROPOSED SEWER MAIN (PVT.)	---
PROPOSED WATER MAIN (PVT.)	---
PROPOSED FIRE HYDRANT ASSEMBLY	---
EXISTING FIRE HYDRANT ASSEMBLY	---
EXISTING CONCRETE BROW DITCH	---
PROPOSED CONCRETE BROW DITCH	---
INDICATES DIRECTION OF FLOW	---
RETAINING WALL	---
OPEN SPACE FENCING	---
INDICATES TOP OF WALL ELEVATION	TW 1120
INDICATES FINISHED GROUND ELEVATION	FG 1112
INDICATES TOP OF BERM ELEVATION	TB 1115.5
INDICATES PAVEMENT ELEVATION	P 1115.2
INDICATES FINISH GRADE ELEVATION	FG 1116.3
INDICATES FLOW LINE ELEVATION	FL 1116
BRUSH ZONE "A" BOUNDARY	---
BRUSH ZONE "B" BOUNDARY	---

NOTE:
SAN DIEGO COUNTY DESIGN STANDARDS DS-1 THROUGH DS-16,
DS-20A AND DS-20B APPLY TO THIS PROJECT.

NOTE:
ALL RETAINING WALLS SHALL BE MODULAR SEGMENTAL CONCRETE
SYSTEMS, RANGING IN HEIGHT FROM 1' TO 21' TALL AS
DESIGNATED ON THE PLAN

OPEN SPACE SIGNAGE NOTES

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BIOLOGICAL OPEN SPACE BOUNDARY AT 100'
INTERVALS MINIMUM. SIGNS MUST BE CORROSION
RESISTANT, A MINIMUM OF 6"x9" IN SIZE, ON POSTS
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	R=330'	
	L=41.15'	
C3	D=83°08'50"	
	R=22.00'	
	L=31.93'	

ENGINEER OF WORK

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ROBERT A. CHASE RCE 41903 DATE

